

DRAWING SCHEDULE

01	FRONT PERSPECTIVE/CONTENTS
02	SITE PLAN
03	BASEMENT PLAN
04	GROUND FLOOR PLAN
05	FIRST FLOOR PLAN
06	ROOF PLAN
07	CUT/FILL PLAN
08	ELEVATIONS
09	SECTIONS

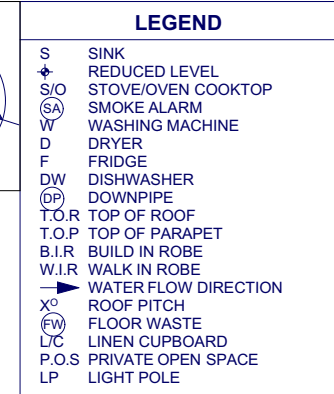


4

GLENISIA AVE

GEORGES HALL

PROPOSED SECTION 4.55 DUAL OCCUPANCY



GENERAL NOTES

- THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE ARCHITECT FOR CONSTRUCTION.
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- FOOTINGS AND BEAMS TO ENGINEERS DRAWING AND DETAIL.
- TIMBER USED SHALL BE IN ACCORDANCE WITH AS 1684 OF TIMBER FRAMEWORK CODE.
- PROVIDE 50mm SETDOWN TO SLAB TO WET AREA (GROUND FLOOR).
- WET AREAS TO BE IN ACCORDANCE WITH AS3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.
- SMOKE ALARMS ARE TO BE INSTALLED IN ACCORDANCE WITH AS3786. ALARMS TO BE POSITIONED ON THE CEILING AND SET BACK A MINIMUM DISTANCE 300mm FROM ANY WALL.
- ALL GROUND LINES ARE APPROXIMATE ONLY AND ARE TO BE VERIFIED ON SITE
- ALL WINDOW SIZES ARE APPROXIMATE ONLY AND FINAL SIZES MUST BE DETERMINED BY THE BUILDER
- CONCEALED METAL FASTENED SHEET TO BE USED FOR ALL SKILLION ROOF COVERING

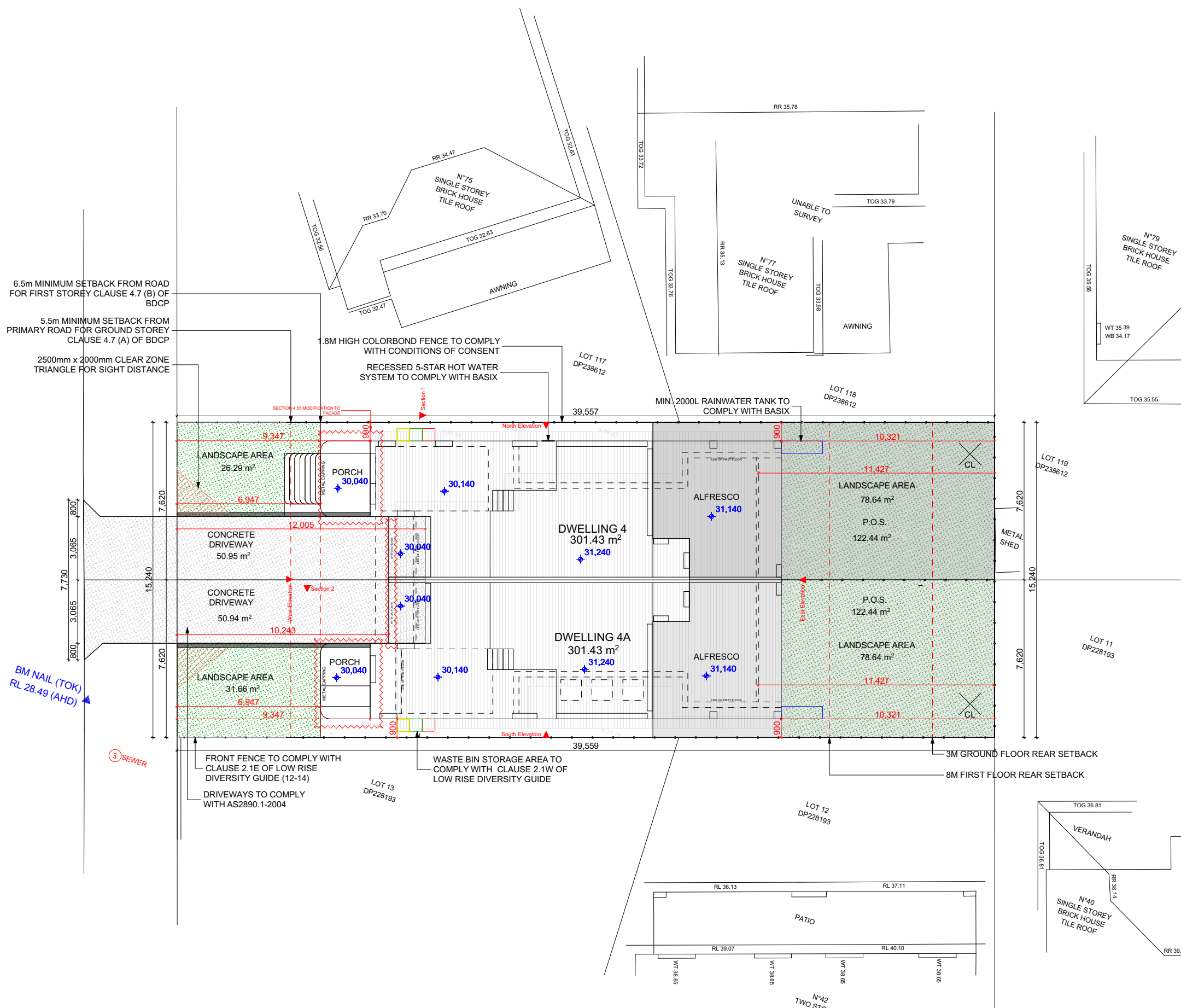
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Client
DORRO

Project Name
4.55 PLANS

At
4 GLENSIA AVE GEORGES HALL

Drawing Title: - Site Plan Site Plan	
BDAA ACCREDITATION NO: 6455	Scale: As Noted A3 Designed By: M.N
Project No: #	Drawing No.: 02
Date:	12/12/2024



**BUILDING ELECTRICAL, MECHANICAL, HYDRAULIC
EQUIPMENT TO COMPLY WITH CLAUSE 2.1P OF
THE LOW RISE DIVERSITY GUIDE**

TOTAL GFA CALCULATION	
1	1000
2	1000
3	1000
4	1000
5	1000
6	1000
7	1000
8	1000
9	1000
10	1000
11	1000
12	1000
13	1000
14	1000
15	1000
16	1000
17	1000
18	1000
19	1000
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87	1000
88	1000
89	1000
90	1000
91	1000
92	1000
93	1000
94	1000
95	1000
96	1000
97	1000
98	1000
99	1000
100	1000

MAX FSR ALLOWED: 301.43m²
TOTAL FSR PROPOSED: 301.22m²

DWELLING AREA:

SITE DETAILS

LOT NUMBER: 116
DP NUMBER: 238612
SITE AREA (DP): 600.70m²
SITE AREA (CALC): 602.85m²

DWELLING 4

TOTAL SUBDIVIDED AREA: 301.43m²
GROUND FLOOR LIVING: 77.30m²
FIRST FLOOR LIVING: 73.14m²
STAIRCASE VOID: 17.01m²
GARAGE/BASEMENT: 81.88m²
PORCH: 7.29m²
ALFRESCO: 37.58m²
BALCONY: 5.39m²
PRIVATE OPEN SPACE: 122.44m²
DRIVEWAY: 50.95m²
TOTAL ROOF AREA: 148.33m²








DWELLING 4A

TOTAL SUBDIVIDED AREA: 301.43m²
GROUND FLOOR LIVING: 77.30m²
FIRST FLOOR LIVING: 73.48m²
STAIRCASE VOID: 13.77m²
GARAGE/BASEMENT: 81.88m²
PORCH: 4.89m²
ALFRESCO: 37.58m²
BALCONY: 5.48m²
PRIVATE OPEN SPACE: 122.44m²
DRIVEWAY: 50.94m²
TOTAL ROOF AREA: 138.86m²

LANDSCAPE RATIO:

REQUIRED (min.): **45%** Between dual occupancy and the primary frontage.
Proposed for DWELLING 4: 24.13m²
Proposed for DWELLING 4A: 31.66m²

LEGEND:

- LEGEND:**
-  MIN. 2000L RAINWATER TANK TO COMPLY WITH BASIX
 -  RECESSED 6-STAR HOT WATER SYSTEM TO COMPLY WITH BASIX
 -  CONCRETE AREA
 -  LANDSCAPE AREA
 -  PRIVATE OPEN SPACE
 -  WASTE BINS
 -  RETAINING WALLS

Site Plan

1:200

LEGEND

S SINK
+ REDUCED LEVEL
S/O STOVE/OVEN COOKTOP
(SA) SMOKE ALARM
W WASHING MACHINE
D DRYER
F FRIDGE
DW DISHWASHER
(DP) DOWNPIPE
T.O.R TOP OF ROOF
T.O.P TOP OF PARAPET
B.I.R BUILD IN ROBE
W.I.R WALK IN ROBE
→ WATER FLOW DIRECTION
X° ROOF PITCH
(FW) FLOOR WASTE
L/C LINEN CUPBOARD
P.O.S PRIVATE OPEN SPACE
LP LIGHT POLE

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REVISION	NAME	DATE
REVISION A - CONCEPT	M.N	00/00/00
REVISION E - 4.55 PLANS	H.H	11/12/24

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GROUP PTY LTD.
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Email: campbellhillgroup@hotmail.com

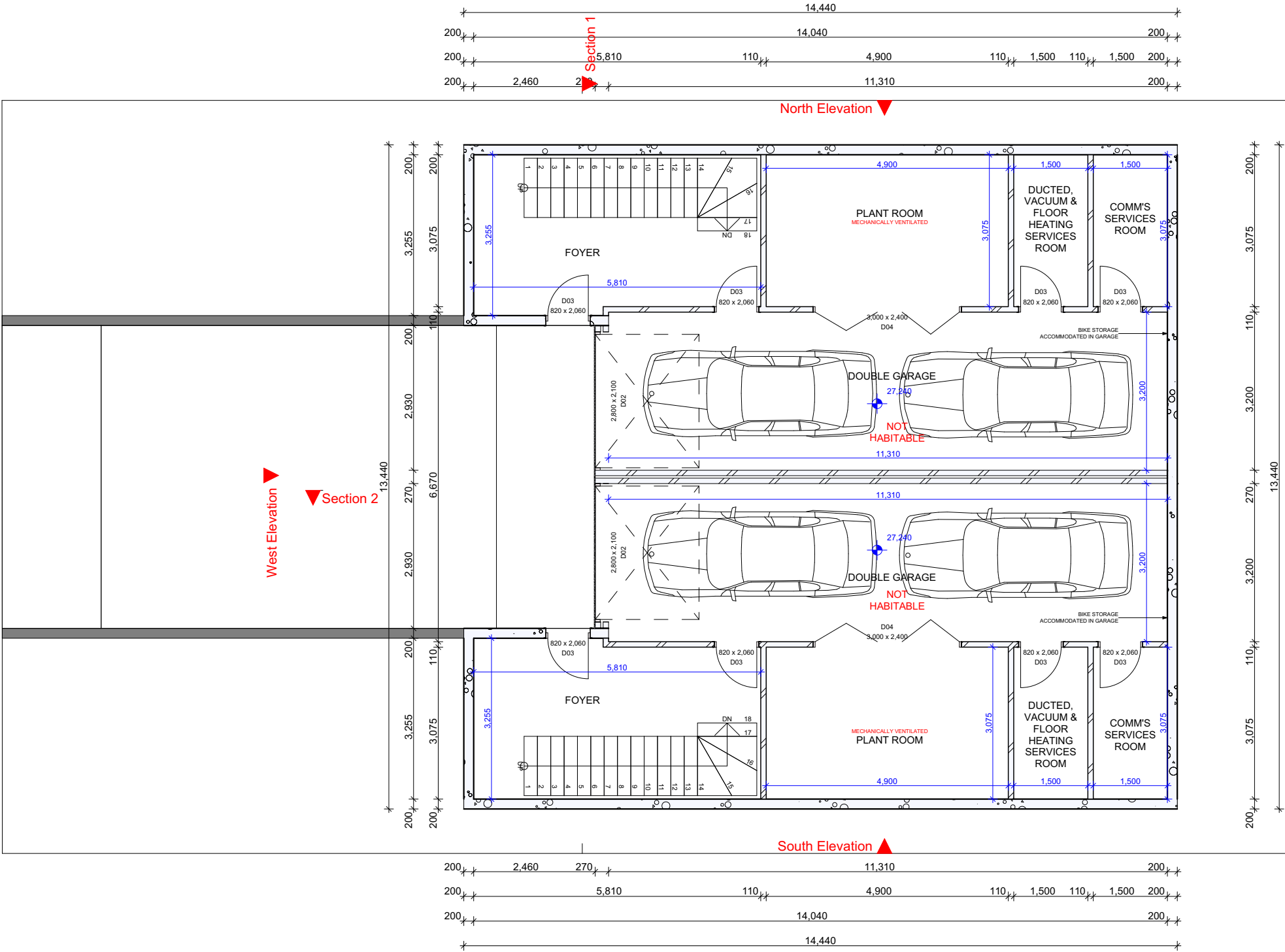
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
DORRO

Project Name
4.55 PLANS

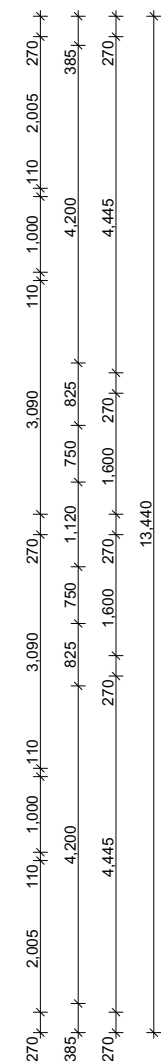
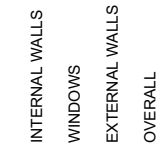
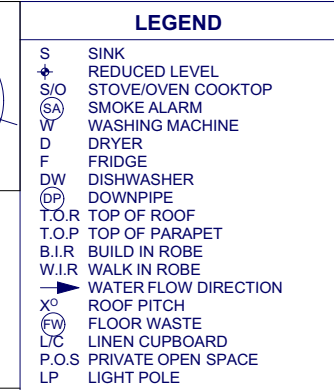
At
4 GLENSIA AVE GEORGES HALL

Drawing Title: - Basement Plan Basement	
BDAA ACCREDITATION NO: 6455	Scale: As Noted Designed By: M.N A3
Project No:	Drawing No.: 03
Date: 12/12/2024	



Basement

1:100

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Client
DORRO

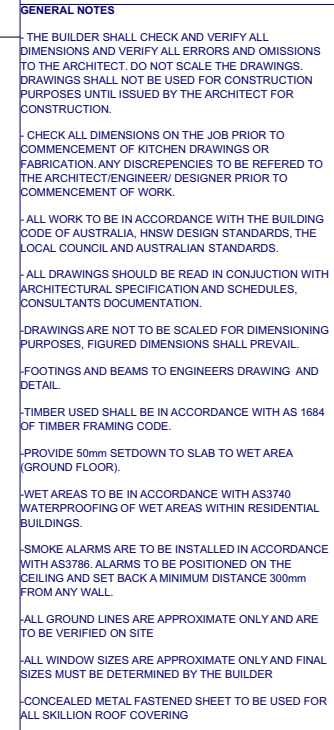
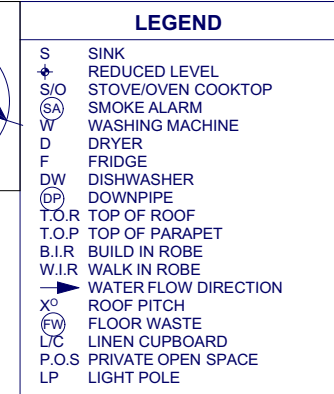
Project Name
4.55 PLANS

At
4 GLENSIA AVE GEORGES HALL

Drawing Title: - Ground Floor Plan Ground Floor	
BDAA ACCREDITATION NO: 6455	Scale: As Noted Designed By: M.N
Project No: #	Drawing No.: 04
Date:	12/12/2024

Ground Floor

1:100

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Email: campbellhillgroup@hotmail.com



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

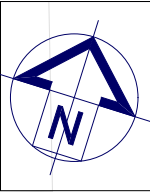
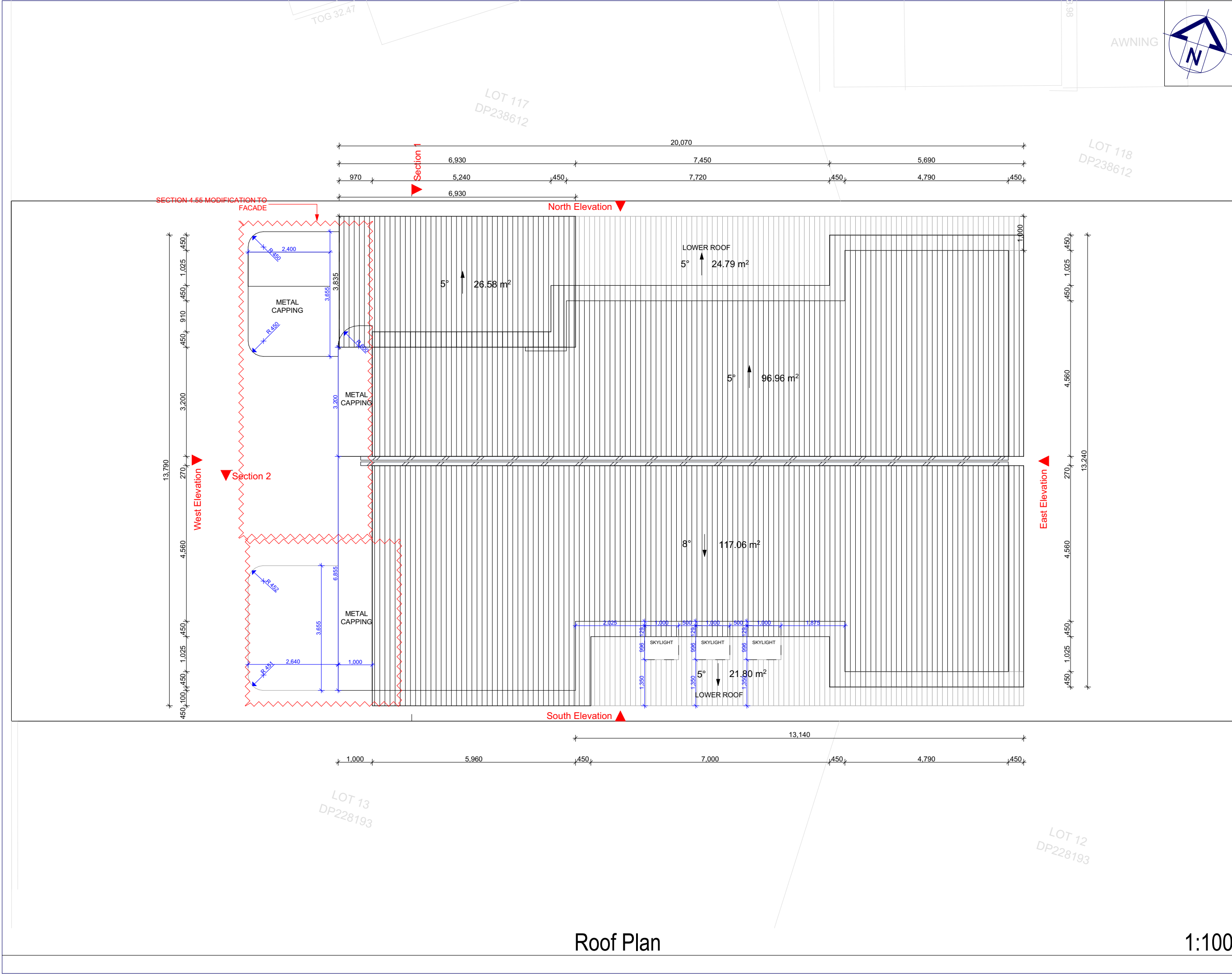
Client
DORRO

Project Name
4.55 PLANS

At
4 GLENSIA AVE GEORGES HALL

Drawing Title: - First Floor Plan First Floor	
BDAA ACCREDITATION NO: 6455	Scale: As Noted A3 Designed By: M.N
Project No: #	Drawing No.: 05
Date:	12/12/2024

1:100



LEGEND	
S	SINK
+	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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REVISION E - 4.55 PLANS	H.H	11/12/24



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BDA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client
DORRO

Project Name
4.55 PLANS

At
4 GLENSIA AVE GEORGES HALL

Drawing Title: - Roof Plan Roof Plan	
BDAA ACCREDITATION NO: 6455	Scale: As Noted A3
Project No: #	Designed By: M.N
Date:	Drawing No.: 06
12/12/2024	



LEGEND

S

SINK

+

REDUCED LEVEL

S/O

STOVE/OVEN COOKTOP

(SA)

SMOKE ALARM

W

WASHING MACHINE

D

DRYER

F

FRIDGE

DW

DISHWASHER

(DP)

DOWNPIPE

T.O.R

TOP OF ROOF

T.O.P

TOP OF PARAPET

B.I.R

BUILD IN ROBE

W.I.R

WALK IN ROBE

→

WATER FLOW DIRECTION

X°

ROOF PITCH

(FW)

FLOOR WASTE

L/C

LINEN CUPBOARD

P.O.S

PRIVATE OPEN SPACE

LP

LIGHT POLE

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REVISION	NAME	DATE
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REVISION E - 4.55 PLANS	H.H	11/12/24



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BDAA
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

Client

DORRO

Project Name

4.55 PLANS

At

4 GLENSIA AVE GEORGES HALL

Drawing Title:

- Cut/Fill Plan

Cut/Fill Plan

BDAA ACCREDITATION NO:

6455

Scale:

As Noted

A3

Designed By:

M.N

Project No:

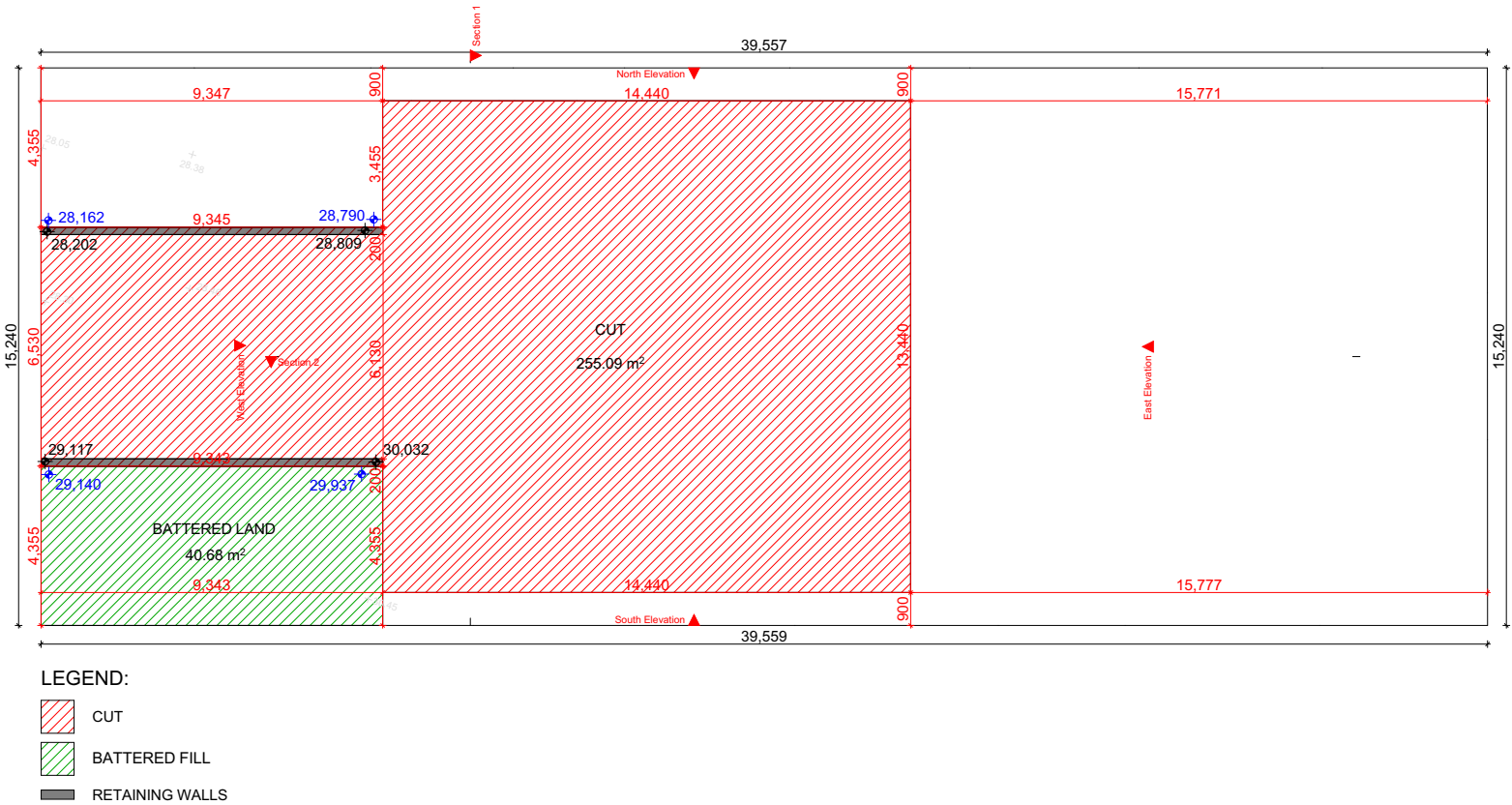
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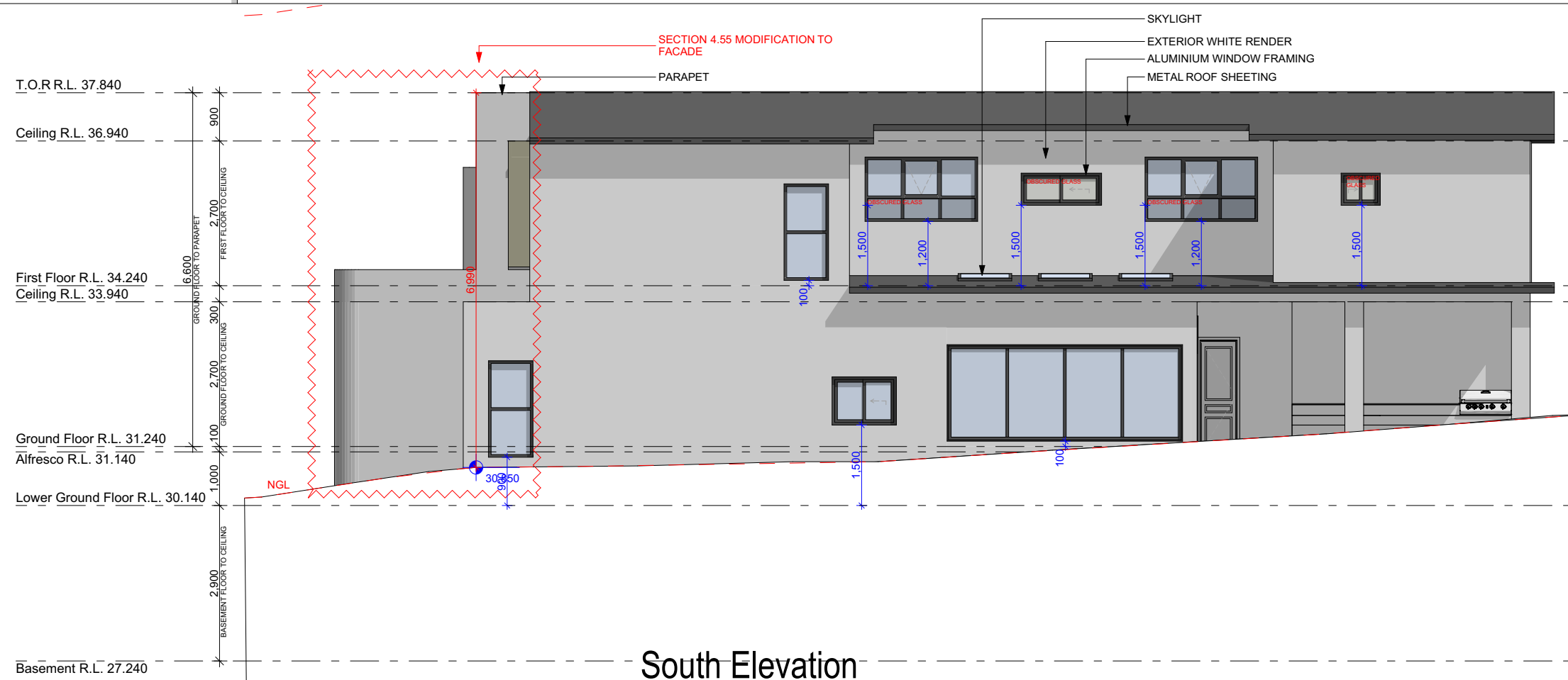
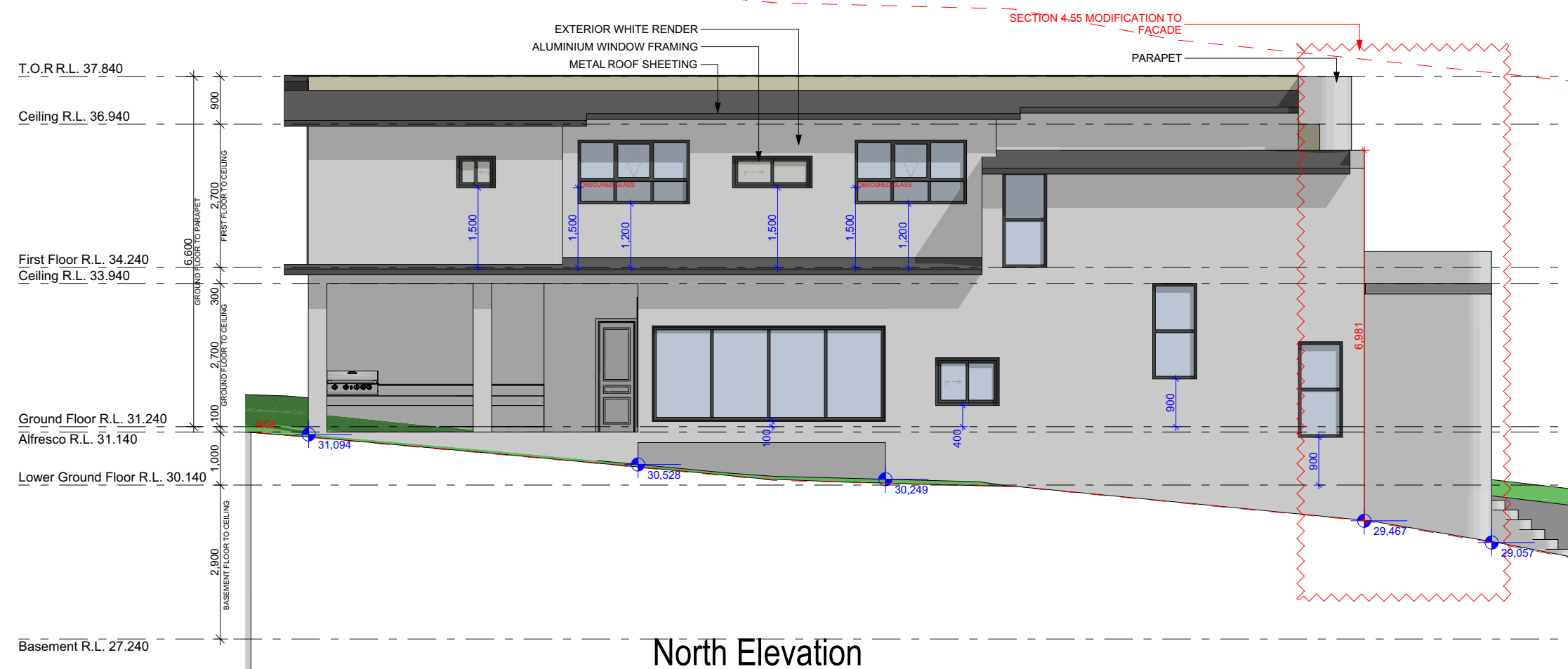
Drawing No.:

07

Date:

12/12/2024





LEGEND

S	SINK
✱	REDUCED LEVEL
(S/O)	STOVE/OVEN COOKTOP
W	SMOKE ALARM
W	WASHING MACHINE
F	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
→	WATER FLOW DIRECTION
X°	ROOF PITCH
(FW)	FLOOR WASTE
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P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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[illegible]

1:100



Client
DORRO

Project Name
4.55 PLANS

At
4 GLENSIA AVE GEORGES HALL

Drawing Title:
- Elevations
 East Elevation, West Elevation, North Elevation, South Elevation

BDDA ACCREDITATION NO:	Scale: As Noted	A2
6455	Designed By: M.N	
Project No:	Drawing No.:	
#	08	
Date:		12/12/2024

1:100

S	SINK
↓	REDUCED LEVEL
S/O	STOVE/OVEN COOKTOP
(SA)	SMOKE ALARM
W	WASHING MACHINE
D	DRYER
F	FRIDGE
DW	DISHWASHER
(DP)	DOWNPIPE
T.O.R	TOP OF ROOF
T.O.P	TOP OF PARAPET
B.I.R	BUILD IN ROBE
W.I.R	WALK IN ROBE
➡	WATER FLOW DIRECTION
X ^o	ROOF PITCH
(FW)	FLOOR WASTE
L/C	LINEN CUPBOARD
P.O.S	PRIVATE OPEN SPACE
LP	LIGHT POLE

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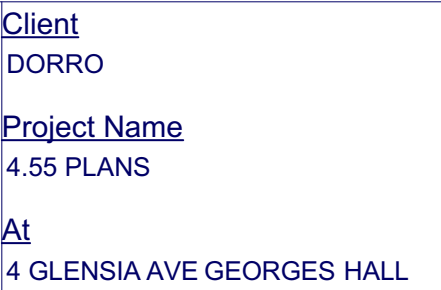
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[illegible]

Date: 12/12/2024



1:100 :



1:100

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